



# Understanding Planning

## Height and Space

### Building height

The maximum permitted building height under the Nelson Resource Management Plan (NRMP) rules are as follows:

Residential Zone	7.5m
Rural Zone	12m

Note that height in relation to a structure means either:

- a) the vertical distance between any part of the structure and ground level immediately below that part of the structure, or
- b) the vertical distance between the highest part of the structure and mean ground level (which is the average level of the ground around the external foundations of the structure).

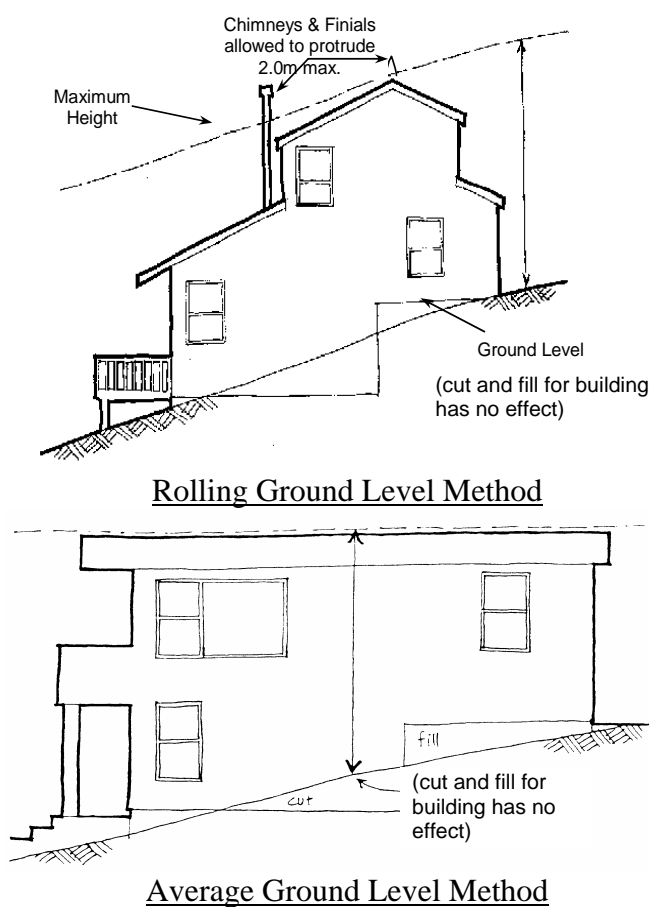
### Notes:

- a) The above options cannot be used in combination on any one structure.
- b) There are special provisions, which apply to buildings in the Wakefield Quay Precinct.
- c) Chimneys less than 1.0m width and finials, may exceed the maximum stated height by no more than 2.0m.
- d) Ground level means the original ground level, or the finished ground level for earthworks where:
  - a) 'original ground level' means the level of the ground that existed before any excavation for new buildings or structures on the land undertaken, and
  - b) 'finished ground level' accords with the ground level dictated by i), ii) or iii) below, where infilling must be undertaken to the level required to deal with the hazard, but before any excavation or infilling for new buildings or structures on the land is undertaken:
    - i) a rule in the plan relating to low lying sites, or
    - ii) a resource consent granted in relation to flooding or inundation, or
    - iii) a resource consent granted for a subdivision.

Where there is a retaining wall or other engineering structure at the boundary of the site required to achieve b) above, the finished ground level (for the purposes of defining daylight angles) will be the level of the site immediately behind the structure intended to ensure the stability of the site at the finished level.

- c) All structures and buildings must also comply with daylight protection requirements for your neighbours' property. This means that there are restrictions on building heights to ensure that your neighbour receives adequate sunlight on their property. Please refer to the Council's information pamphlet on Daylight and to Appendix 15 of the NRMP for more details.

The two methods of height measurements are shown below



## Net area

### For the Residential Zone:

- a) The net area of a site exclusively allocated to each residential unit from the total area of the site must be not less than:
- Lower Density Area:  
600 square metres
  - Lower Density Area (Stoke)  
An average net area of 1000m<sup>2</sup> & a min. of 850m<sup>2</sup>
  - Higher Density Area:  
300 square metres
  - Standard Density (remainder of Zone):  
400 square metres

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- b) Paragraph (a) does not apply to a single residential unit on a single allotment where the allotment was created by a subdivision approved by the Council, and was not identified on the subdivision plan as a lot for a utility service or access.

**For the Rural Zone:**

- a) The net area of every allotment is at least
- i) 15ha except for the Small Holdings Areas;
  - ii) 3ha minimum lot size in the Lower Density Small Holdings Area, or
  - iii) 1ha average with a 5000m<sup>2</sup> minimum size in the Higher Density Area provided that any allotment to be created complies in all respects with the requirements of Appendix 14 (design standards).

**Site coverage**

**For the residential zone:**

Building coverage of the net area of any site must not exceed:

- Lower Density Area: 30%
- South St Heritage Precinct: 60%
- Remainder of Zone (including Higher Density Area): 40%

Note: There are restrictions on building in the front, side and rear yards – please refer to Council’s information pamphlet ‘Siting Your House/Garage’ for more details.

**For the rural zone:**

Construction or alteration of structures and paving of land with impervious surfacing (including driveways, paths and yards) is permitted if:

- no more than 2500 square metres of any site is covered by structures or impervious surfaces (other than structures used for handling animals or plants).

If you need any further information please do not hesitate to contact the Nelson City Council’s Planning and Consents Division and ask to talk to the Duty Planner.

Direct Dial Phone: (03) 546 0357