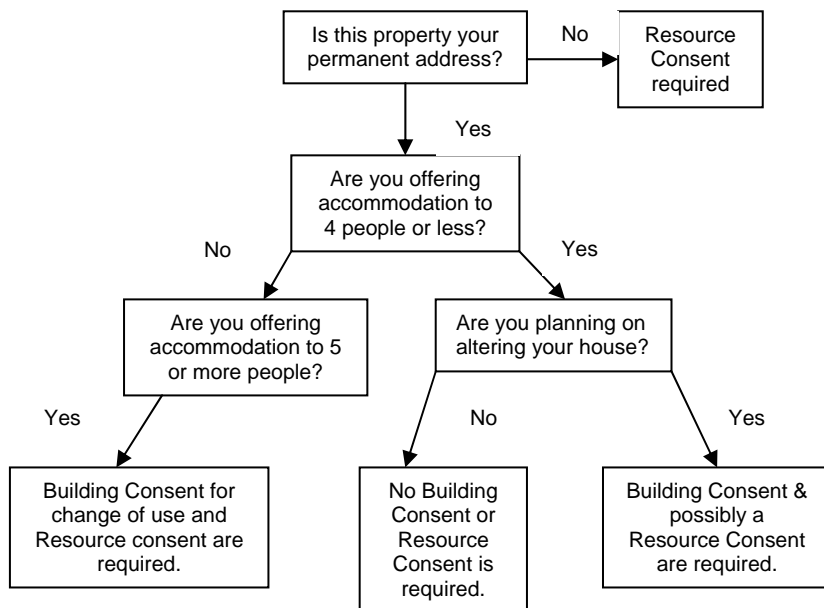




Understanding Planning

What Consents are Required to Operate a Bed & Breakfast



This flow chart can be used as a basic guide for those wishing to accommodate short term guests on a daily tariff.

Please note that this diagram only looks at the consents required for the activity of providing accommodation. You may need to get resource and/or building consents if you intend to make any alterations to your property or fail to satisfy other aspects of the Nelson Resource Management Plan.

It is a good idea to discuss your proposal with Council staff to determine exactly what consents will be required.

So you want to offer accommodation?

The Nelson Resource Management Plan allows you to have four or less short term guests staying at your residential property without you having to apply for a resource consent. The reason for this is that the effects of up to four guests are not likely to be any more significant than a standard residential activity.

If you wish to accommodate up to four guests your activity is classified as a residential activity and is permitted in the Residential Zone.

What if I want to have more than four guests?

The Nelson Resource Management Plan provides a mechanism that controls the effects of an activity. In terms of the Resource Management Plan a residential activity with more than four guests is deemed to have effects of a similar intensity to a motel or a larger scale backpackers. These effects include vehicle movements, noise and other general disturbances that are not expected to arise from standard residential activities.

For this reason you will need to acquire some extra consents.

Resource consent

A resource consent is required because the intensity of effects from your proposal are no longer considered to be in keeping with the residential zone. The resource consent will examine issues like car parking, hours of operation and will almost certainly require you to obtain the written consent of at least your immediate neighbours.

Building consent

If you propose to offer accommodation to five or more guests your property is no longer deemed to be used residentially. As a result the proposed “Change of Use” needs to be notified to the council so that we can examine the ability of the building to safely accommodate these guests. During the process of obtaining a building consent for any required changes issues of hygiene, fire egress, general safety and other building code matters will be examined.

If your proposal includes the construction of any additional structures a resource consent may also be required for this as well. It is certainly easier for all parties if we are able to process a resource consent for all aspects of the proposal at the same time. and don't forget“Gate advertising signage” may also require a resource consent.